

Residential Study Group

Agenda

October 22, 2016

Attached please find plans from architects and engineers and dimensional and density reviews from Inspectional Services for three properties we will visit on Saturday. Our tour will begin at 96 Oakland Ave, continue to 62 Kensington Park, and finish at 9-11 Park Street. These cases are illustrative of the many issues we are interested in as a group. Each site visit will include a brief presentation by Inspectional Services (Mike) and highlights of challenging and positive aspects of each case. We will then have time to ask questions and discuss each case as a group.

96 OAKLAND AVENUE

DEMOLITION OF SINGLE FAMILY DWELLING, CONSTRUCTION OF
NEW SINGLE FAMILY DWELLING.

LOT COVERAGE: -----	16.44%
TOTAL GROSS FLOOR AREA: -----	3463 SQ FT
OPEN SPACE REQUIRED: -----	1038.9 SQ FT
OPEN SPACE PROVIDE: -----	4750 SQ FT
OPEN SPACE PERCENTAGE: -----	76.52%
BUILDING HEIGHT (PROPOSED) -----	32' +/-
LOT SLOPE: (OVERALL) -----	2.9%
LOT SLOPE: (OPEN SPACE ONLY) -----	1.09% +/-
ATTIC GFA (523 SQ FT) -----	43.43%
SLOPE OF DRIVEWAY PROPOSED -----	NA

96 OAKLAND AVENUE

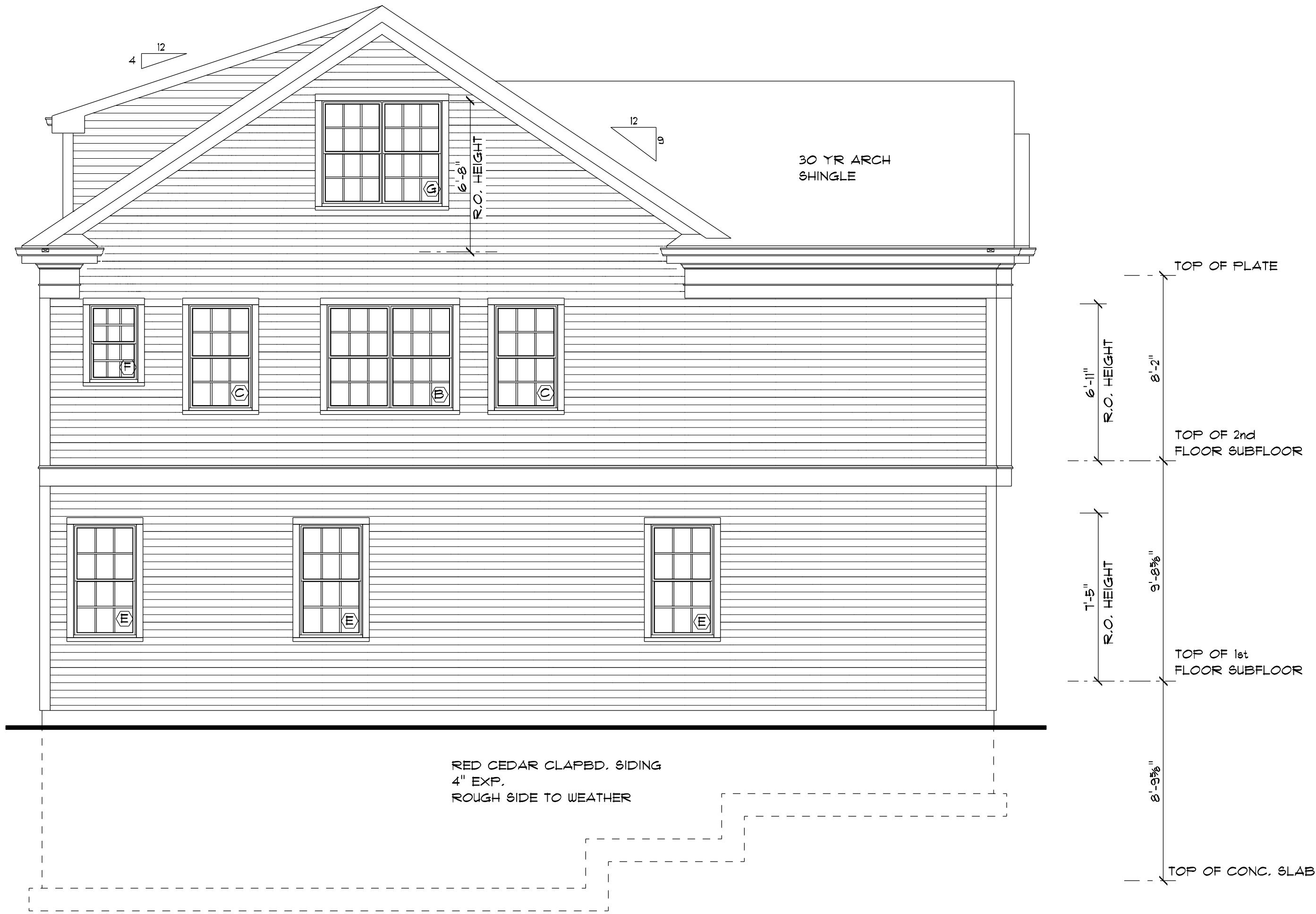
16.44 % Lot Coverage: Structure 6X18 108
 36X36 1296
 12X20 240
 1644

3463 sq ft GFA
 Basement 20X30 600
 First Floor 1204
 Second Floor 30X36 1080
 12X20 240
 Attic 26X12 312
 4.5X6 27
 3463

137 % Open Space Required 1038.9 sq ft
 Open Space Available < 8% 4750 sq ft

32' +/- Building Height (Slope < 5%)

2.9 % Lot Slope Overall
 1.09 % Lot Slope Open Space Only



PROPOSED LEFT SIDE ELEVATION

JELD-WEN SITEINE EX WINDOW SCHEDULE

REF	PRODUCT CODE	R.O. SIZE	GRILLE	TRIM	REMARKS	COUNT
A	ECD3360-2	R.O. 61 1/2" x 60 3/4"	6 ov 6	5/4x4		1
B	ECD3356-2	R.O. 61 1/2" x 56 3/4"	6 ov 6	5/4x4		3
C	ECD3356	R.O. 34 1/8" x 56 3/4"	6 ov 6	5/4x4		5
D	ECD2944	R.O. 30 1/8" x 44 3/4"	6 ov 6	5/4x4		3
E	ECD3360	R.O. 34 1/8" x 60 3/4"	6 ov 6	5/4x4		3
F	ECD2540	R.O. 26 1/8" x 40 3/4"	6 ov 6	5/4x4	TEMP. GL.	1
G	ECD2956-2	R.O. 59 1/2" x 56 3/4"	6 ov 6	5/4x4		2
H	ECC2442-3	R.O. 12 3/4" x 42 3/4"	2w, 3h	5/4x4	TRIPLE CASEMENT	1
J	ECA3024-2	R.O. 60 3/4" x 24 3/4"	3w, 2h	5/4x4	DOUBLE AWNING, TEMP GL.	1
K	ECD3360-3	R.O. 100 1/8" x 60 3/4"	6 ov 6	5/4x4		1
L	ECD2536	R.O. 26 1/8" x 36 3/4"	6 ov 6	5/4x4		1

NOTES:
-LOW E ARGON FILLED
-SPL DIVIDED LITES
-PROVIDE SCREENS
-WHITE HARDWARE
-CLAD COLOR: PER CONTRACTOR

JELD-WEN SITELINE EX DOOR SCHEDULE

REF.	PRODUCT CODE	R.O. SIZE	GRILLE	TRIM	REMARKS	COUNT
1	PRC18W28611	R.O. 32 3/8" x 83"	3w, 5h	5/4x4	INSWING DOOR, TEMP GL., LH HINGED	1
2	PRC18W28611	R.O. 32 3/8" x 83"	3w, 5h	5/4x4	INSWING DOOR, TEMP GL., RH HINGED	1

NOTES:
-LOW E ARGON FILLED
-PROVIDE SCREENS
-DOOR HARDWARE COLOR: PER CONTRACTOR
-CLAD COLOR: PER CONTRACTOR

TYPICAL EXTERIOR WALL CONSTRUCTION
-WINDOWS: JELD-WEN SITELINE EX CLAD
-WINDOW & DOOR HEADERS: AS PER FRAMING PLAN, INSULATED AS ALLOWED BY SIZING
-SIDING: RED CEDAR CLAPBOARD SIDING
-EXTERIOR SHEATHING: 1/2" ZIP SYSTEM WITH TAPED SEAMS
-STUDS & PLATES: 2x6 @ 16" O.C.
-EXTERIOR WALL INSULATION: R-21 MINIMUM, PER BUILDER
-INTERIOR FINISH: 1/2" BLUEBOARD w/ SKIMCOAT PLASTER SMOOTH

TYPICAL FLOOR CONSTRUCTION
-SUBFLOOR: 3/4" T&G ADVANTECH SUBFLOOR GLUED & NAILED
-FLOOR JOISTS: AS PER STRUCTURAL FRAMING PLANS
-SILLS: (2) 2x6 PRESSURE TREATED
-SILL SEALER: 5" FOAM TYPE
-INSULATION: R-30 MINIMUM, TYPE PER BUILDER

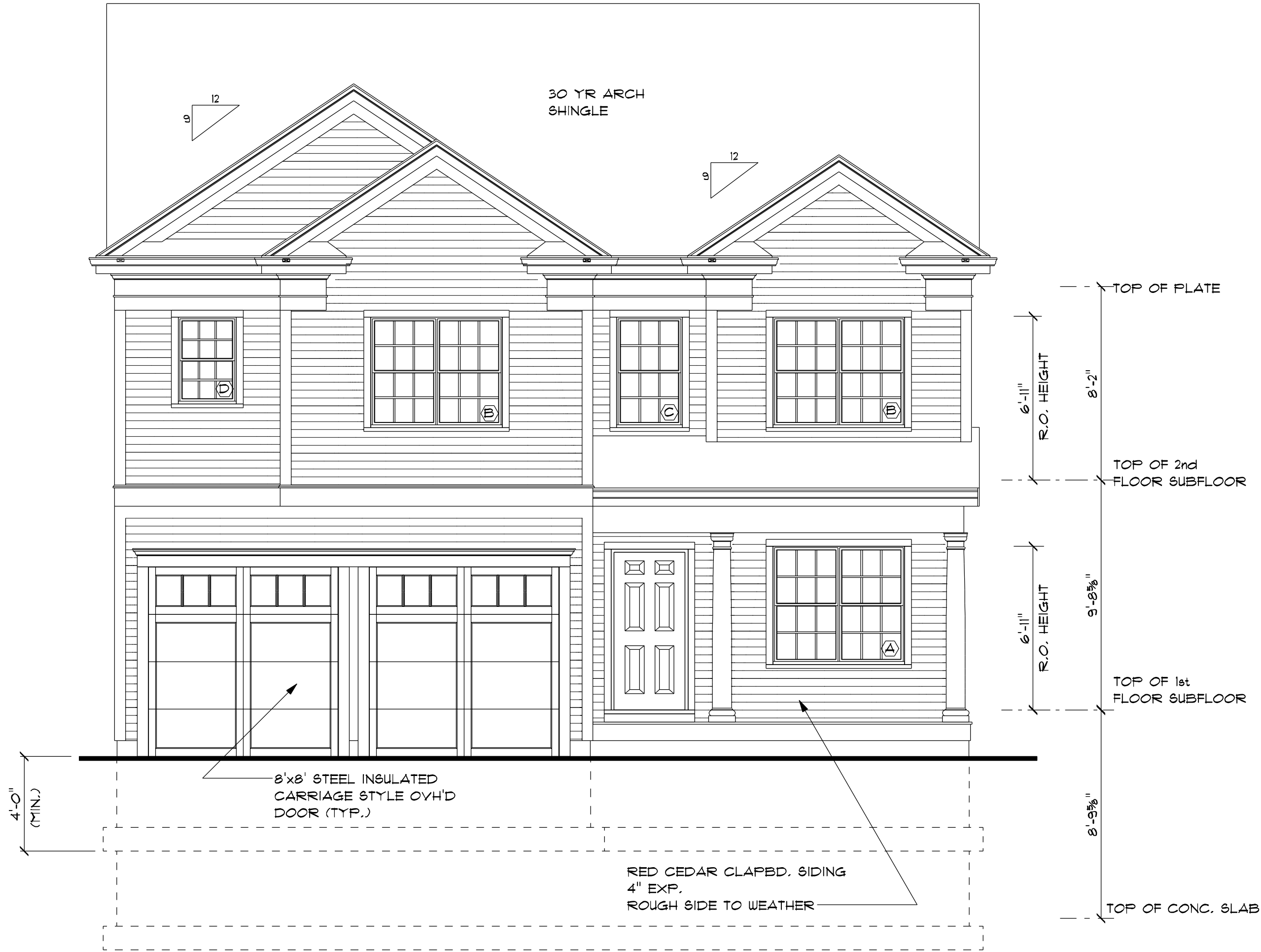
TYPICAL ROOF CONSTRUCTION
-SHINGLES: 30 YEAR ARCHITECTURAL, COLOR BY OWNER/BUILDER
-ICE & WATER BARRIER: TO EXTEND ALONG EAVES TO A POINT 24" HORIZONTAL FROM EXTERIOR WALL EDGE & 18" EACH SIDE OF VALLEYS
-D RIP EDGE: METAL
-ROOF SHEATHING: 1/2" ZIP SYSTEM TONGUE AND GROOVE WITH TAPED SEAMS
-ROOF RAFTERS: 8/12 PER STRUCTURAL FRAMING PLANS
-ROOF INSULATION: R-30 MINIMUM, TYPE PER BUILDER

ABBREVIATIONS

AC	air conditioning	MO	masonry opening
ALUM	aluminum	OC	on center
AP	ash pit	OV	oversized
BD	board	OPG	opening
BLK	block	OVH	overhang
CI	cast iron	PAN	pantry
CL CLOS	closet	PD	pocket door
CLG	ceiling	PLY	plywood
COL	column	PR	powder room
CONC	concrete	P&R	per square foot
D	dryer	P&I	per square inch
DN	down	P&L	parallel strand lumber
DN	down	R	risers
DW	dishwasher	REF	refrigerator
ELEC	electric	REINF	reinforcing
EQUIP	equipment	REQ	required
EXP	exposed	RM	room
FIBGL	fiberglass	RO	rough opening
FL	floor	SQ	square
FT	foot/feet	STL	steel
FTG	footing	STOR	storage
GALV	galvanized	TC	trash compactor
GFI	ground fault interrupter	T&G	tongue and groove
GL	glass	TEMP	tempered
GYP	gypsum	TO	trimmed opening
HDR	header	TR	tread run
INSUL	insulation	TYP	typical
LAUN	laundry	VAN	vanity
LIN	linen	W	washer
LVL	laminated veneer lumber	W/	with
MAX	maximum	WD	wood
MC	medicine cabinet	WM	wire mesh
MIN	minimum	WP	waterproof
MIR	mirror		

NOTES:
• ARCHITECTURAL PLANS ONLY
• STRUCTURAL PLANS TO BE PROVIDED BY CONTRACTOR
• PLANS DESIGNED IN ACCORDANCE WITH 180CMR 8TH EDITION
• GRADES SHOWN ARE APPROXIMATE. FINAL GRADES PER ENGINEER'S PLAN

9/14/2016 ATTIC DORMER REVISIONS:
SHEET A/1
• WINDOW SCHEDULE
• LEFT ELEVATION
SHEET A/2
• ELEVATIONS
SHEET A/3
• ATTIC PLAN
SHEET A/4
• SECTION



PROPOSED FRONT ELEVATION

PROPOSED NEW HOME
96 OAKLAND STREET
ARLINGTON, MA

TLC Design
total living concepts design

P.O. BOX 556, MARLBOROUGH, MA 01752
(508) 561-7644, BILL.TLCDSIGN@GMAIL.COM

REVISIONS
9/14/2016

DRAWN
WHF
CHECKED

DATE
8/22/2016

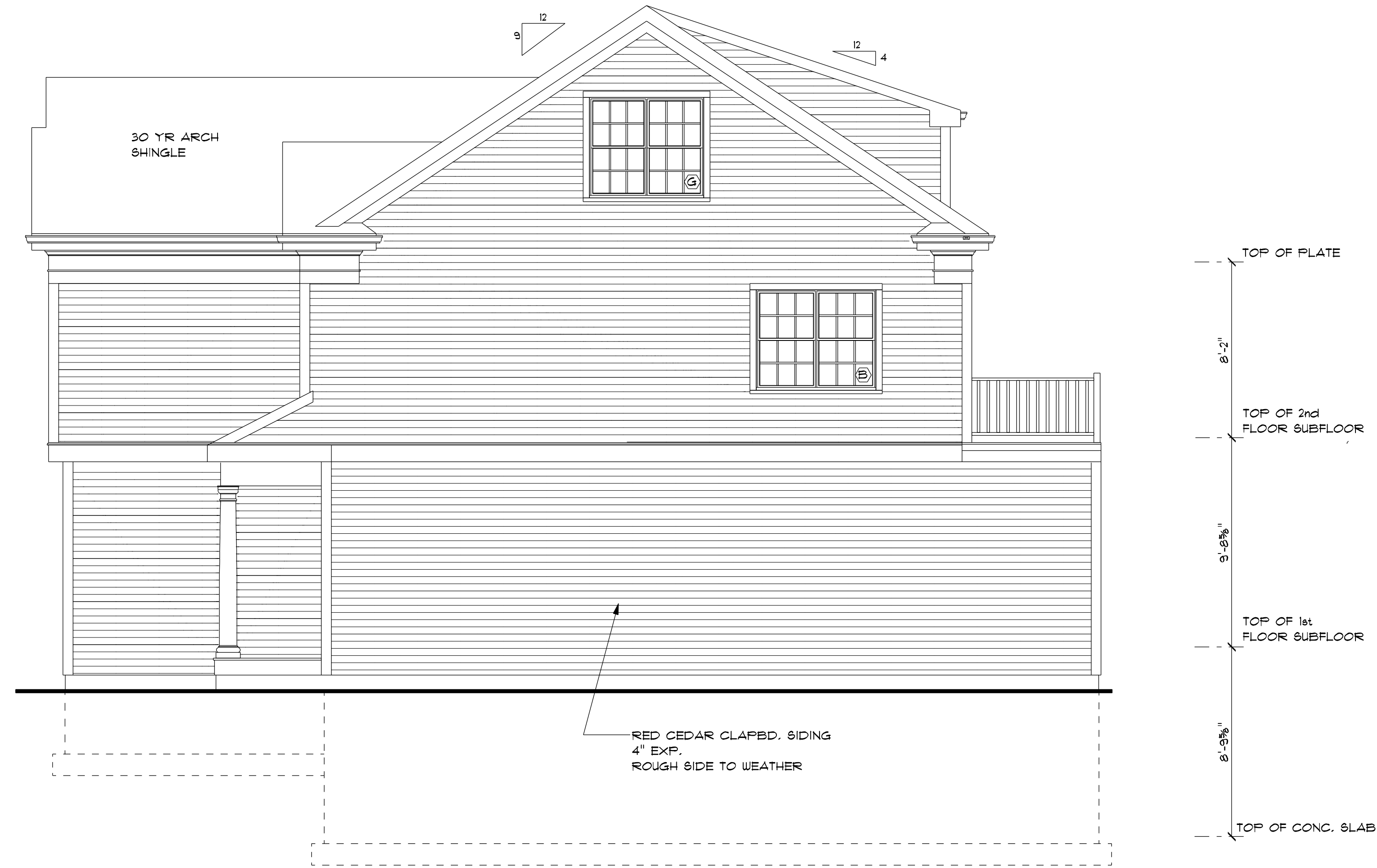
SCALE
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JOB NO.

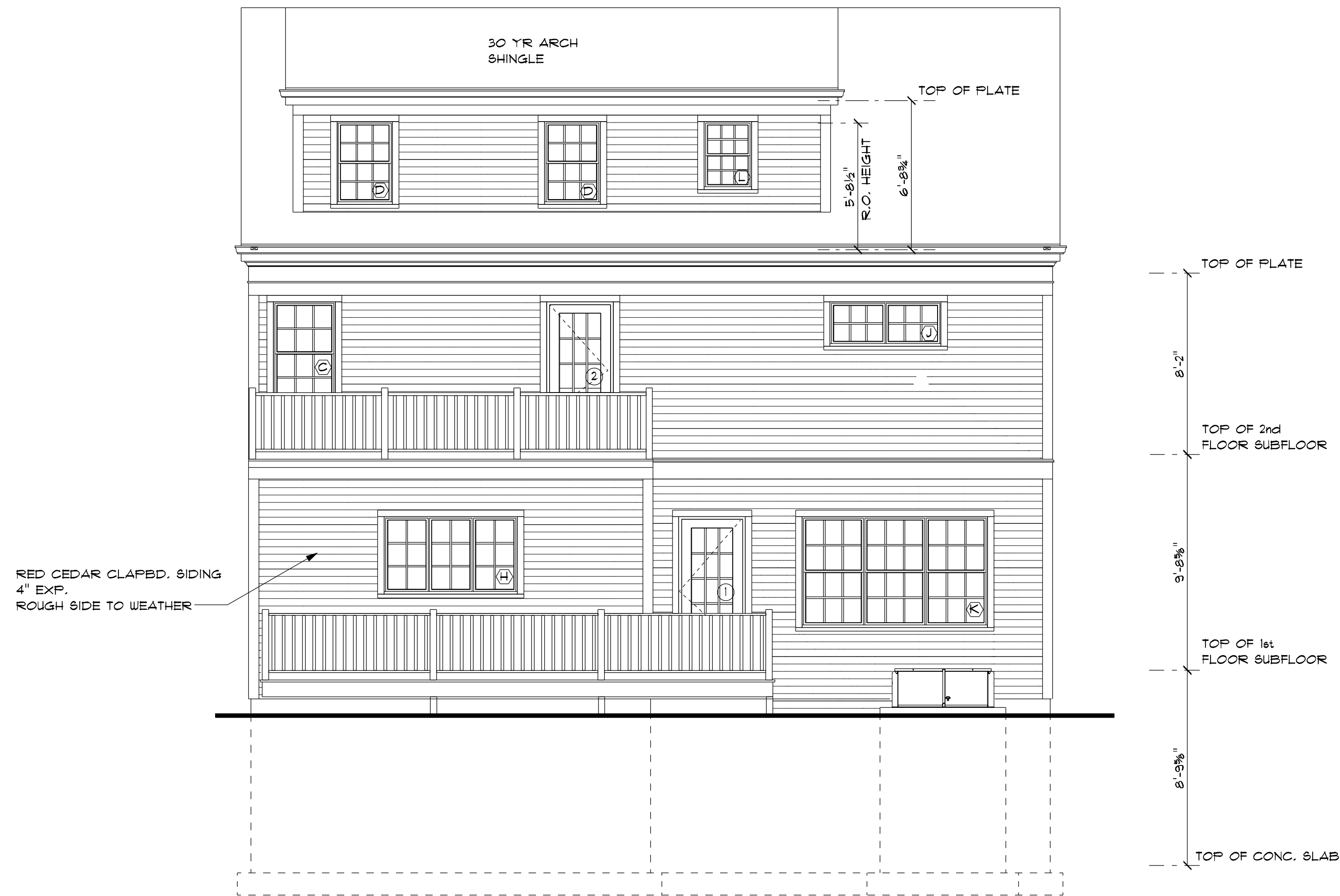
SHEET

A-1

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PROPOSED RIGHT SIDE ELEVATION



PROPOSED REAR ELEVATION

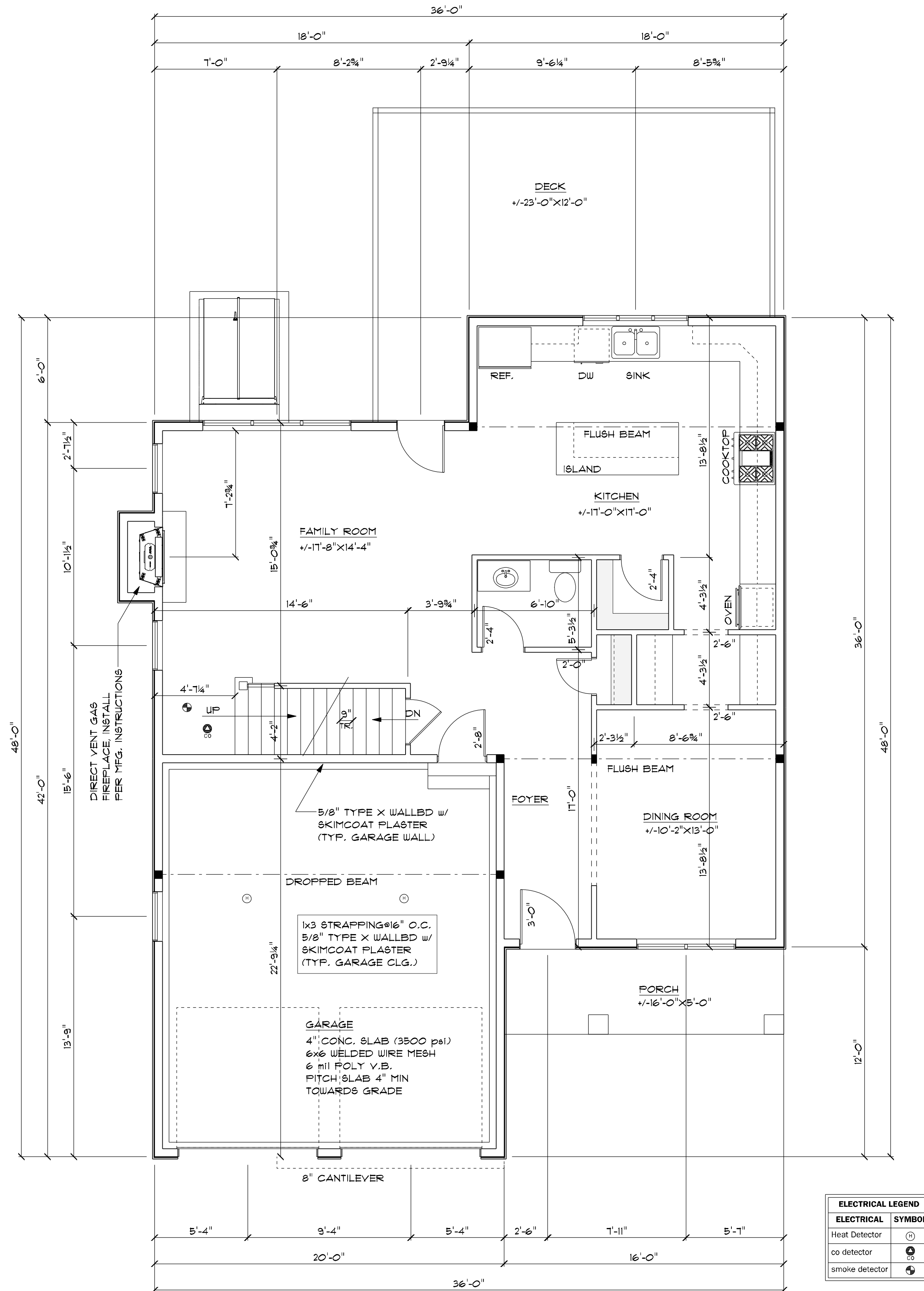
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ARLINGTON, MA

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A-2



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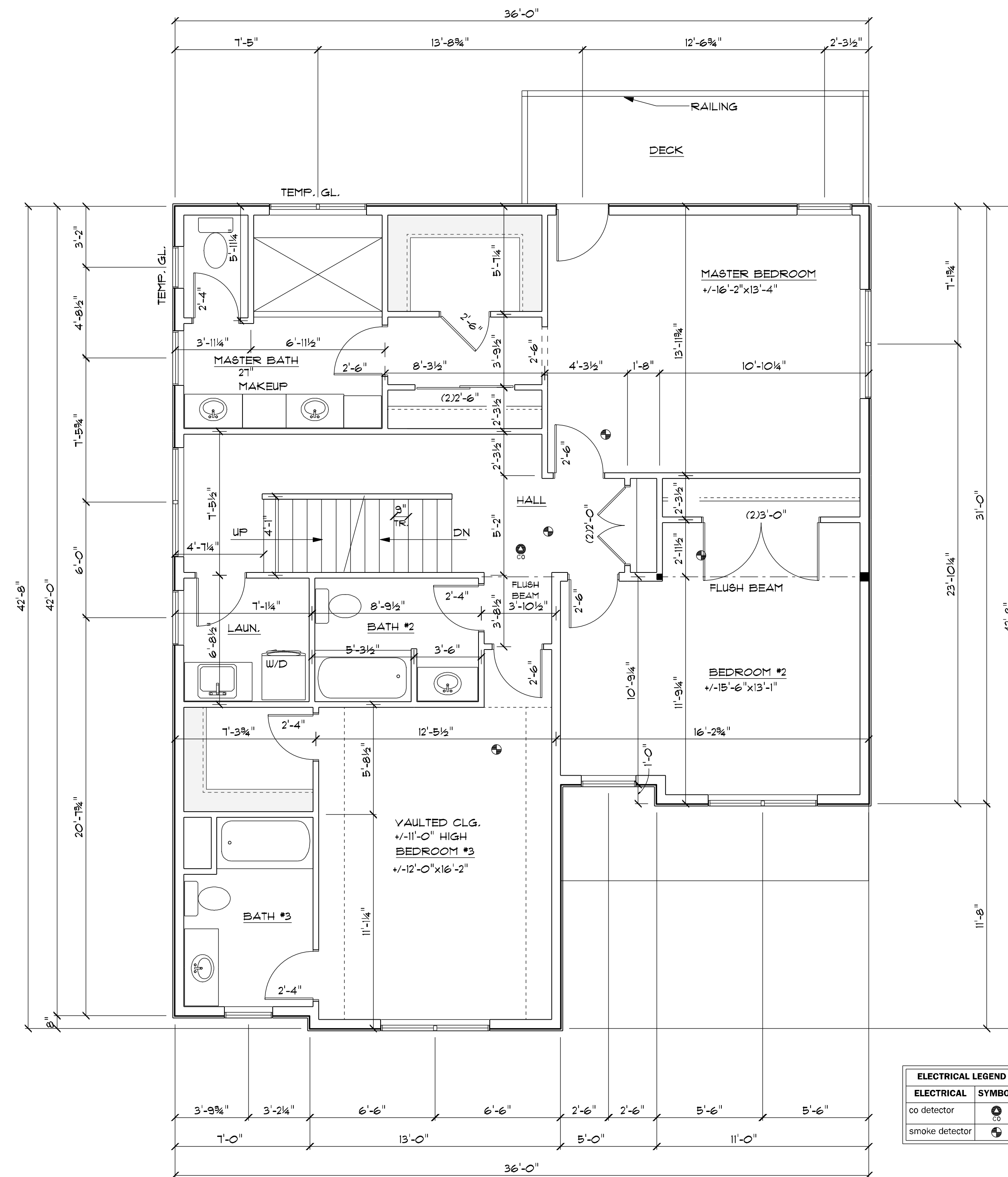
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DATE
8/22/2016

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1/4"=1'-0"

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**PROPOSED NEW HOME
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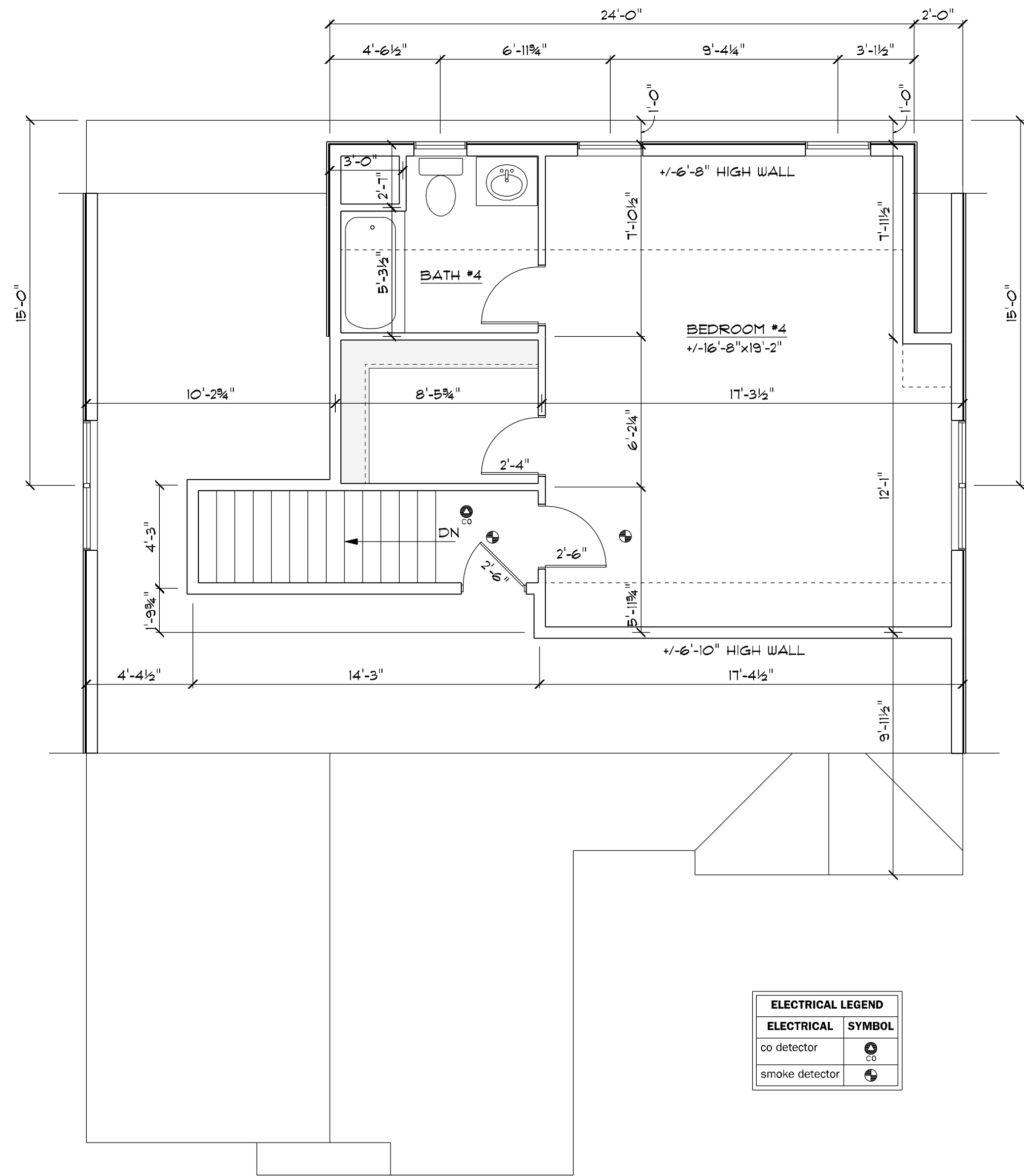
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SCALE	1/4" = 1'-0"
JOB NO.	

SHEET

SHEET

A-4

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ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
co detector	
smoke detector	

ATTIC PLAN

523 sq.ft. LIVING AREA

PROPOSED NEW HOME
96 OAKLAND STREET
ARLINGTON, MA

TLC Design
total living concepts design



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SCALE 1/4"=1'-0"
JOB NO.
SHEET

A-5

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ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
co detector	 CO
smoke detector	

**PROPOSED NEW HOME
96 OAKLAND STREET
ARLINGTON, MA**

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	WHP
	CHECKED
	DATE
	8/22/2016
	SCALE
	1/4"=1'-0"
	JOB NO.
	SHEET

A-6



ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
co detector	
smoke detector	

**PROPOSED NEW HOME
96 OAKLAND STREET
ARLINGTON, MA**

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3/22/2014

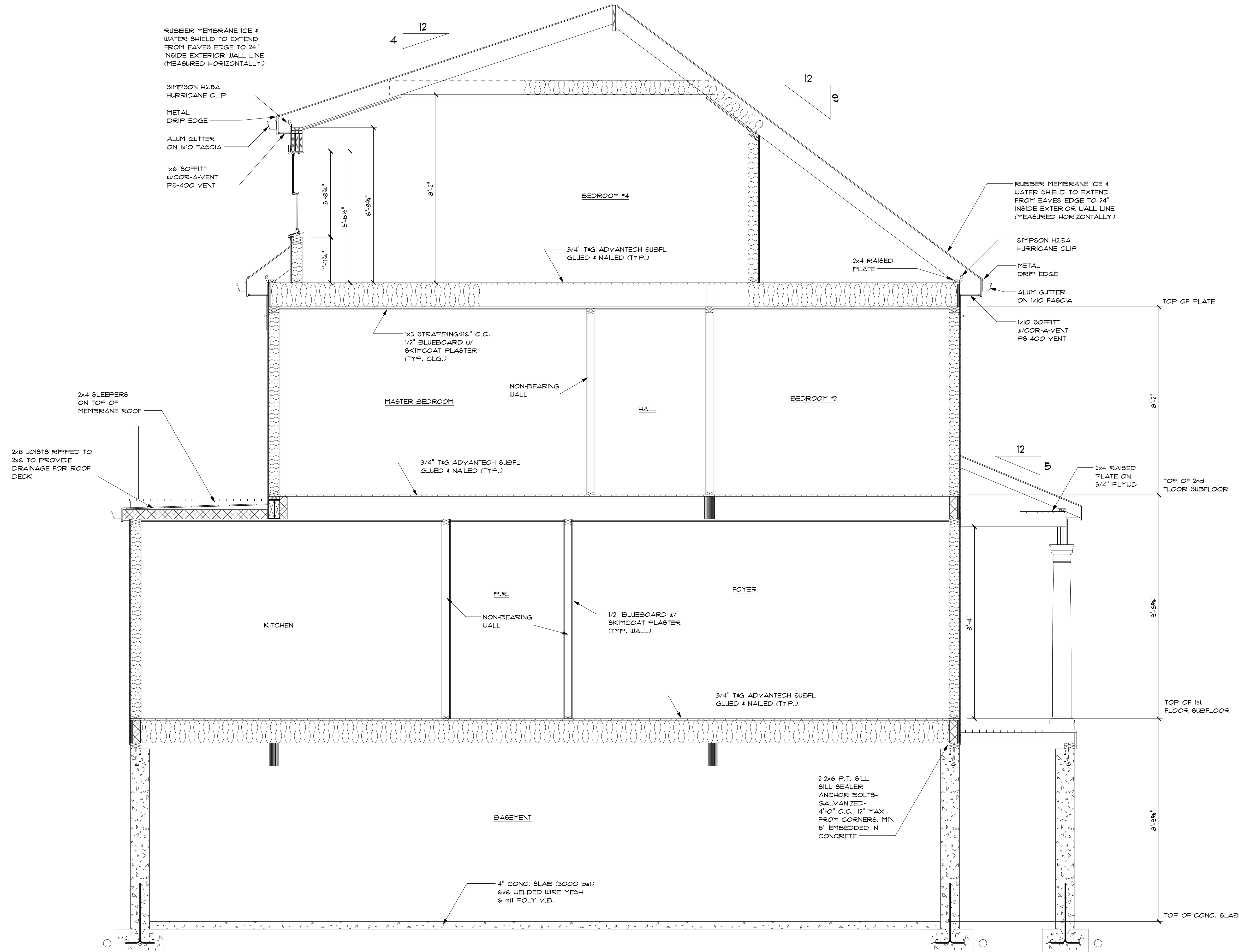
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SHEET

A-7

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PROPOSED NEW HOME
96 OAKLAND STREET
ARLINGTON, MA

TLC Design
total living concepts design
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REVISIONS 9/14/2016
DRAWN WHP
CHECKED
DATE 8/22/2016
SCALE 1/2"=1'-0"
JOB NO.
SHEET

A-8

62 KENSINGTON PARK

DEMOLITION OF SINGLE FAMILY DWELLING, CONSTRUCTION OF
NEW SINGLE FAMILY DWELLING.

LOT COVERAGE: -----	25.3%
TOTAL GROSS FLOOR AREA: -----	3793 SQ FT
OPEN SPACE REQUIRED: -----	1137.9 SQ FT
OPEN SPACE PROVIDE: -----	1875 SQ FT
OPEN SPACE PERCENTAGE: -----	49.4%
BUILDING HEIGHT (PROPOSED) -----	34' 6"
LOT SLOPE: (OVERALL) -----	8.12%
LOT SLOPE: (OPEN SPACE ONLY) -----	6% +/-
ATTIC GFA (680 SQ FT) -----	44.73 %

This card must be visible from the street
and accessible for the inspector to sign.

TOWN OF ARLINGTON BUILDING CARD



Job Address: 62 KENSINGTON PARK

Nature of Work: CONSTRUCT NEW SINGLE FAMILY DWELLING

Conditions: AS BUILTS REQUIRED FOR COMPLIANCE WITH SECTION 6.00

Building Permit No.: B23179

Date Issued 9-14-2016

Owner: CHEN

Contractor: CARMINATI

Inspector must sign all applicable spaces

Inspection

Approved

Not Approved

EXCAVATION, SETBACKS,
& FOOTING FORMS

Pour no concrete until above is signed

FOUNDATION, DAMPPROOFING,
& PERIMETER DRAINS

Do not frame until above is signed and checked,
as - built plot plan is filed with Building Dept.

UNDERGROUND ELECTRICAL

UNDERGROUND PLUMBING/GAS

ROUGH ELECTRICAL

ROUGH PLUMBING

(Above must be signed prior
to framing inspection)

FRAMING

INSULATION

Cover no work until above has been signed

FINAL ELECTRICAL

FINAL PLUMBING

FINAL GAS

FINAL MECHANICAL

FIRE DEPARTMENT APPROVAL

(Above must be signed prior
to final building inspection)

FINAL BUILDING INSPECTION

62 Kensington



Town of Arlington
Inspectional Services Department
51 Grove Street
Arlington, Massachusetts 02476
781-316-3390
www.arlingtonma.gov

As built plot plan requirements prior to issuance of Certificate of Occupancy

As deemed necessary by the Building Official, the following may be required for review as part of the certified plot plan prior to issuance:

- ✓ Building Height - (max 35' from average grade of structure in lots with slope of 5% grade or more.)
- ✓ Stories - calculations showing measurements for stories. (basement and attic)
- ✓ Gross Floor Area - calculations showing total GFA as defined in Zoning Bylaw.
- ✓ Open Space - calculations showing required usable and open space requirements based on total GFA.
- ✓ Parking spaces - show placement of required spaces.

STRUBLE ENGINEERING, LLC

603 Main Street
Reading, MA 01867-3002
(781) 942-3845

Town of Arlington – Inspectional Services Department
51 Grove Street
Arlington, MA 02476-4602

September 26, 2016

Attention: Richard Vallarelli, Building Inspector

Reference: Foundation Conditions for Addition and Renovations
62 Kensington Park
Arlington, MA 02476

Dear Mr. Vallarelli:

I am writing to attest to the structural integrity of the foundation revisions made to the Contract Drawings prepared by *Chongzi Chen, Architect* for the referenced property. Excavation for the foundations revealed subsurface ledge at the intended footing locations which I observed during a site visit on September 16, 2016. The rock was deemed sound for supporting the house footings and the footing depths satisfy the requirements of Code Section 5403.1.4.1-4 for frost protection. I made recommendations for pinning the foundation to the ledge to the Architect. These recommendations have been included in Mr. Chen's updated foundation drawings.

It is my opinion, therefore, that the foundations now seated on sound ledge satisfy the requirements of the Eighth Edition of the Massachusetts State Building Code. Please contact this office if you have any questions.

Very truly yours,



Jeffrey W. Struble, P.E.
Mass. Reg. No. 32141



STRUBLE ENGINEERING, LLC

603 Main Street
Reading, MA 01867-3002
(781) 942-3845

Town of Arlington – Inspectional Services Department
51 Grove Street
Arlington, MA 02476-4602

August 25, 2016

Attention: Richard Vallarelli, Building Inspector

Reference: Structural Framing for Addition and Renovations
62 Kensington Park
Arlington, MA 02476

Dear Mr. Vallarelli:

I am writing to attest to the structural integrity of the framing and foundations for the new single family dwelling to be constructed on the referenced property as shown on the 07-03-16 Contract Documents submitted for permitting as prepared by *Chongzi Chen, Architect*. The framing and foundations were reviewed by this office and all revisions deemed necessary to satisfy Code requirements were transmitted to the architect for inclusion on the permit drawing set. I have reviewed the final presentation of the framing and foundations on those drawings and find them to conform to my revisions.

It is my opinion, therefore, that the structural systems shown for referenced project satisfy the requirements of the Eighth Edition of the Massachusetts State Building Code. Please contact this office if you have any questions.

Very truly yours,

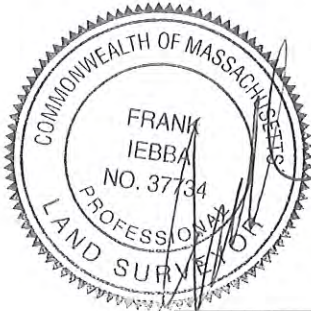


Jeffrey W. Struble, P.E.
Mass. Reg. No. 32141

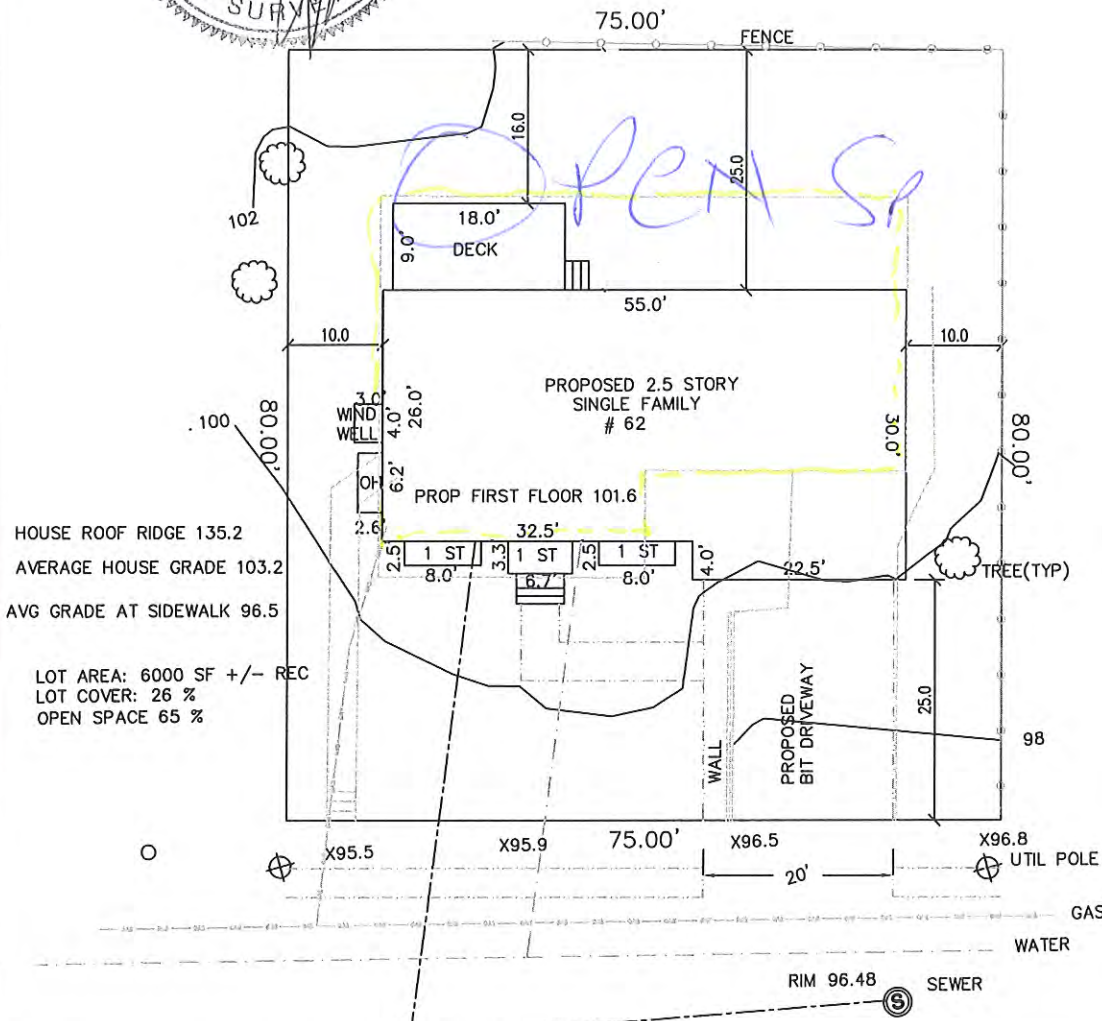


PROPOSED SINGLE FAMILY
62 KENSINGTON PARK
ARLINGTON, MA

SCALE: 1 IN = 20 FT
JULY 16, 2016



EXISTING



EXIST HOUSE &
DRIVE TO BE
REMOVED

HOUSE ROOF RIDGE 135.2
AVERAGE HOUSE GRADE 103.2
AVG GRADE AT SIDEWALK 96.5

LOT AREA: 6000 SF +/- REC
LOT COVER: 26 %
OPEN SPACE 65 %

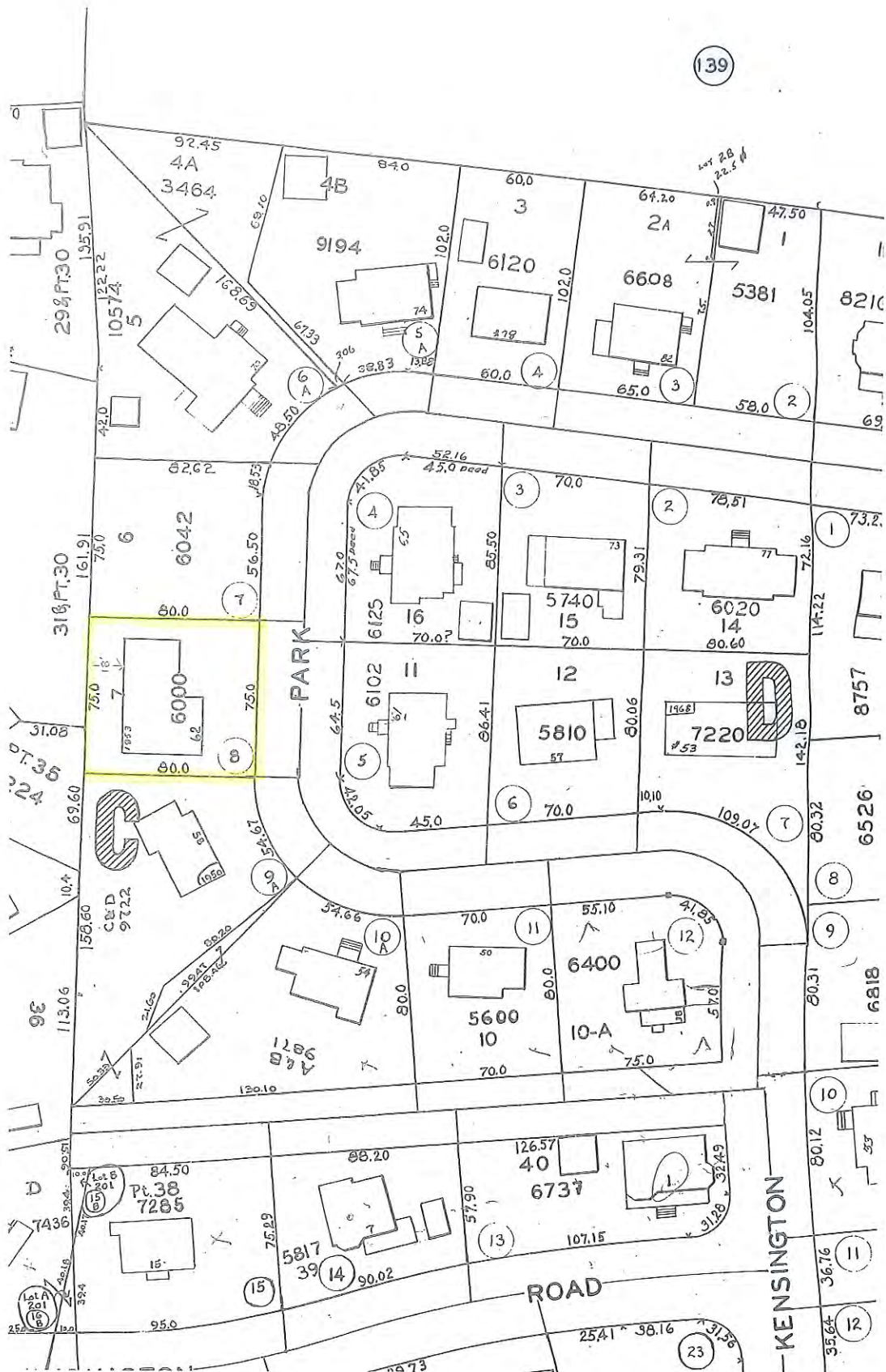
ESSEX ENG. & SURVEY
PO BOX 620622 NEWTON LOWER FALLS
MA. 02462-0622

REFERENCE: BOOK 67577 PAGE 134

PLAN BOOK 394 PLAN 23(LOT 7)

617-797-7342
EFAX: 617-663-6307

FRANK.IEBBA@GMAIL.COM



62 KENSINGTON PARK

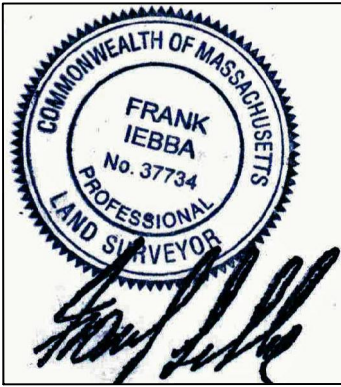
25.3%	Lot Coverage :	26 X 55 -	1430
		4 X 22.5 -	90
		Structure -	1520
		LOT -	6000 -

3793	Gross Floor Area -	Basement -	20 X 25	500
			11 X 8	88
		First FL -	26 X 33	858
			7 X 21	147
		Second Floor		1520
		Attic (7' 7 3/4")		680
		TOTAL GFA -		3793

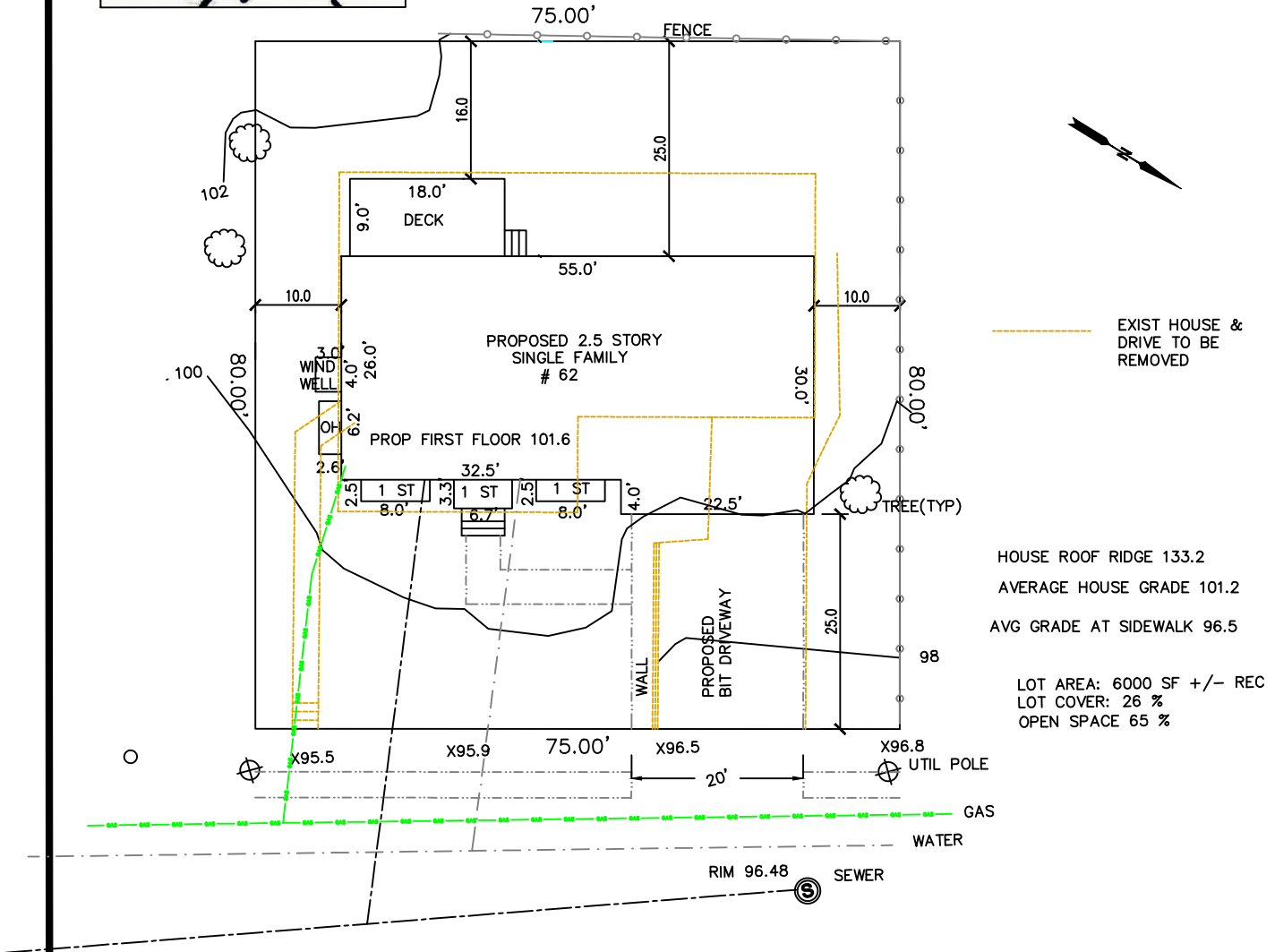
1137.9 # Open Space Required
 1875 # Open Space Provided
 49.4% Open Space Percentage

34'6" Building Height (AS BUILT Required)
 * BASED ON Lot Slope > 5%

8.12 %	Lot Slope :				
	Overall	95.25 - 102	6.5'	DISTANCE	80.00
6 % +/-	Open Space	100 - 102	1.0	DISTANCE	25'



PROPOSED SINGLE FAMILY
62 KENSINGTON PARK
ARLINGTON, MA
SCALE: 1 IN = 20 FT
JULY 16, 2016



ESSEX ENG. & SURVEY
PO BOX 620622 NEWTON LOWER FALLS
MA. 02462-0622

REFERENCE: BOOK 67577 PAGE 134

PLAN BOOK 394 PLAN 23(L0T 7)

617-797-7342
EFAX: 617-663-6307

FRANK.IEBBA@GMAIL.COM

62 KENSINGTON PARK

ARLINGTON, MA 02476

ZONING REVIEW

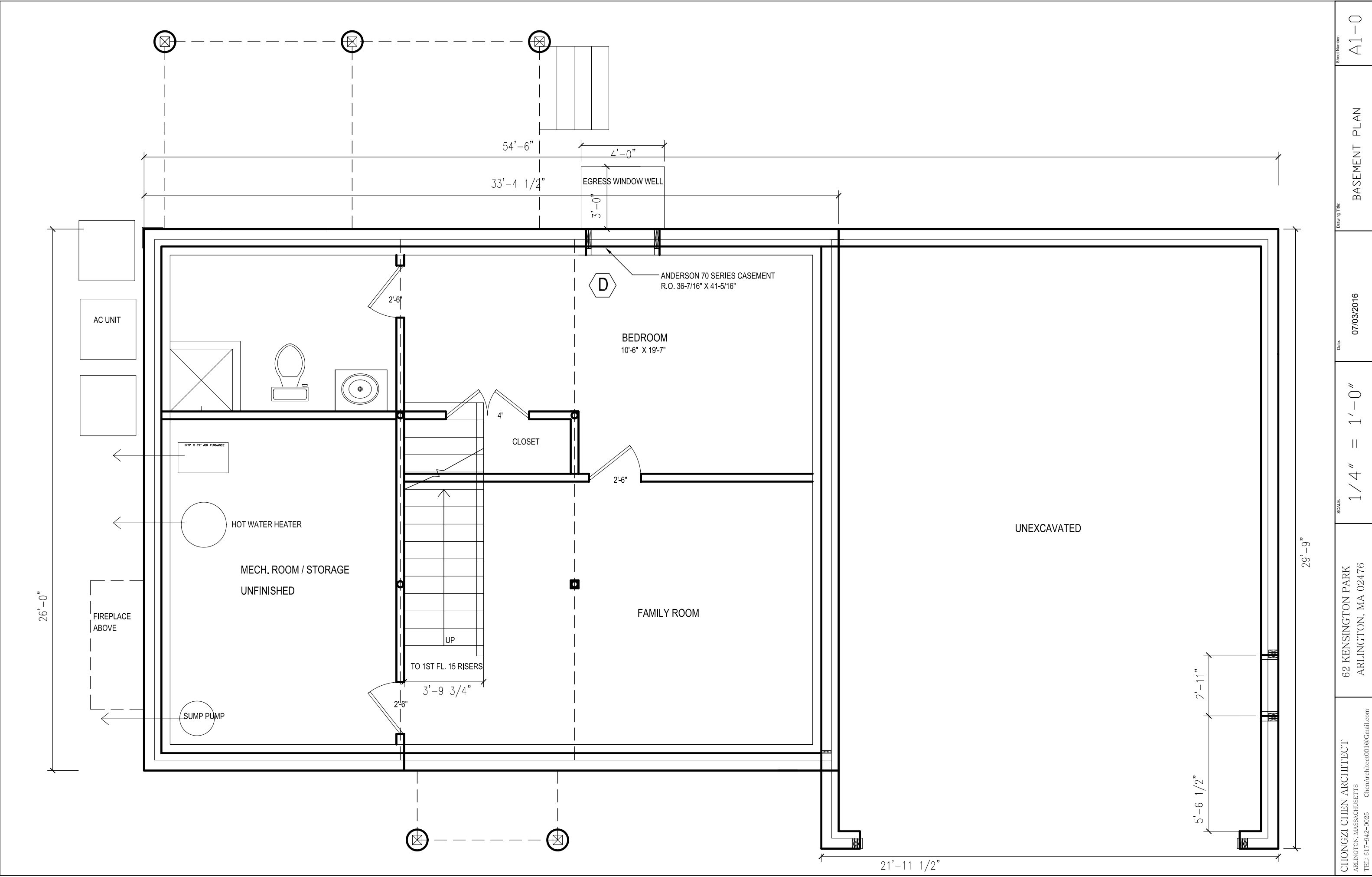
WORK TO BE COMPLETED IN ACCORDANCE TO:
MASSACHUSETTS STATE BUILDING CODE
ARLINGTON ZONING ORDINANCE

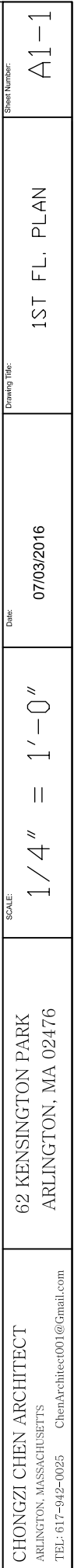
ZONING DISTRICT: R1
SINGLE FAMILY DETACHED DWELLING

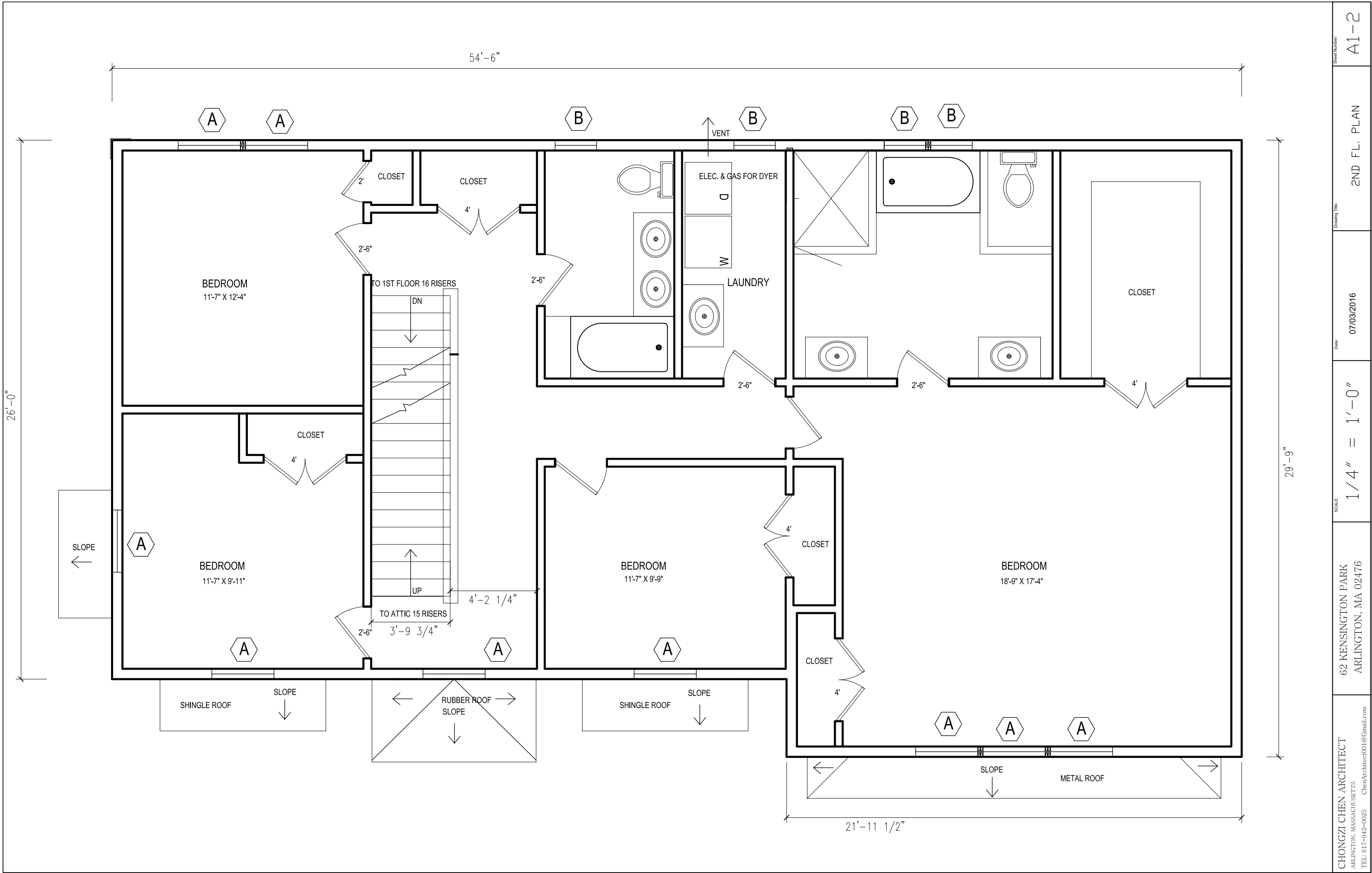
	REQUIRED	PROPOSED
LOT SIZE MIN.	6,000	6,000
FRONTAGE	60	75
FRONT YARD SETBACK	25	25
SIDE YARD SETBACK	10	10
REAR YARD SETBACK	20	25
HEIGHT MAX.	35	34'-5 3/8" (AVERAGE HEIGHT AT 4 CORNERS OF HOUSE) LOT SLOPE 8.125% (SEE TOPO LINE AT CERTIFIED PLOT PLAN)
USABLE (% OF GROSS FL AREA)	30%	49% (REAR YARD OPEN SPACE: 25X75=1,875 SF)
IMPERVIOUS AREA NET INCREASE	350 SF	*NO NET IMPERVIOUS AREA NET INCREASE *THE FOOTPRINT OF THE PROPOSED HOUSE IS SMALLER THAN EXISTING HOUSE *EXISTING REAR YARD STONE PATIO (TO BE DEMOLISHED) AND DRIVEWAY COMBINED IS LARGER THAN PROPOSED DRIVEWAY AND ENTRANCE WALKWAY

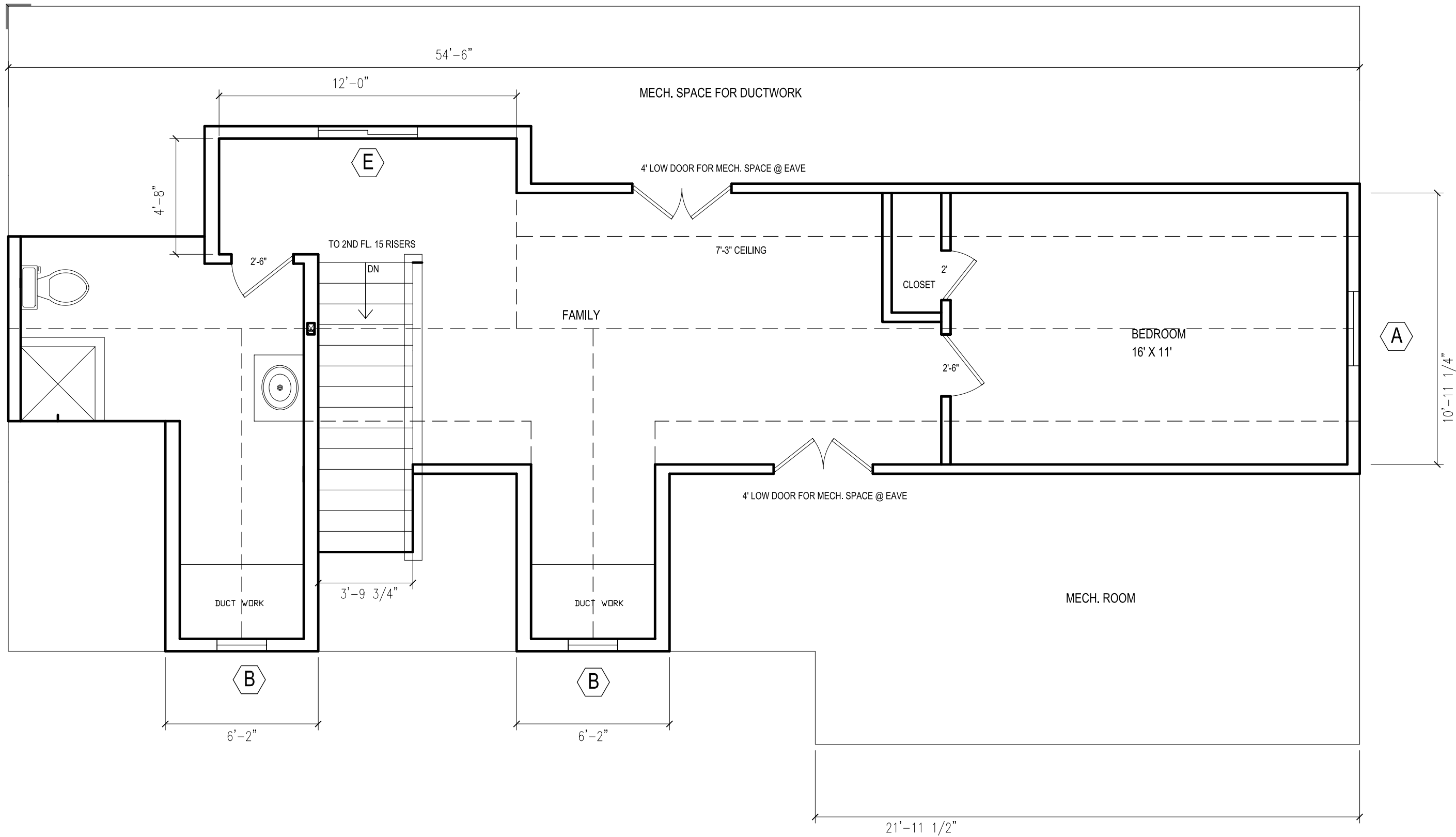
SQUARE FOOTAGE SUMMARY

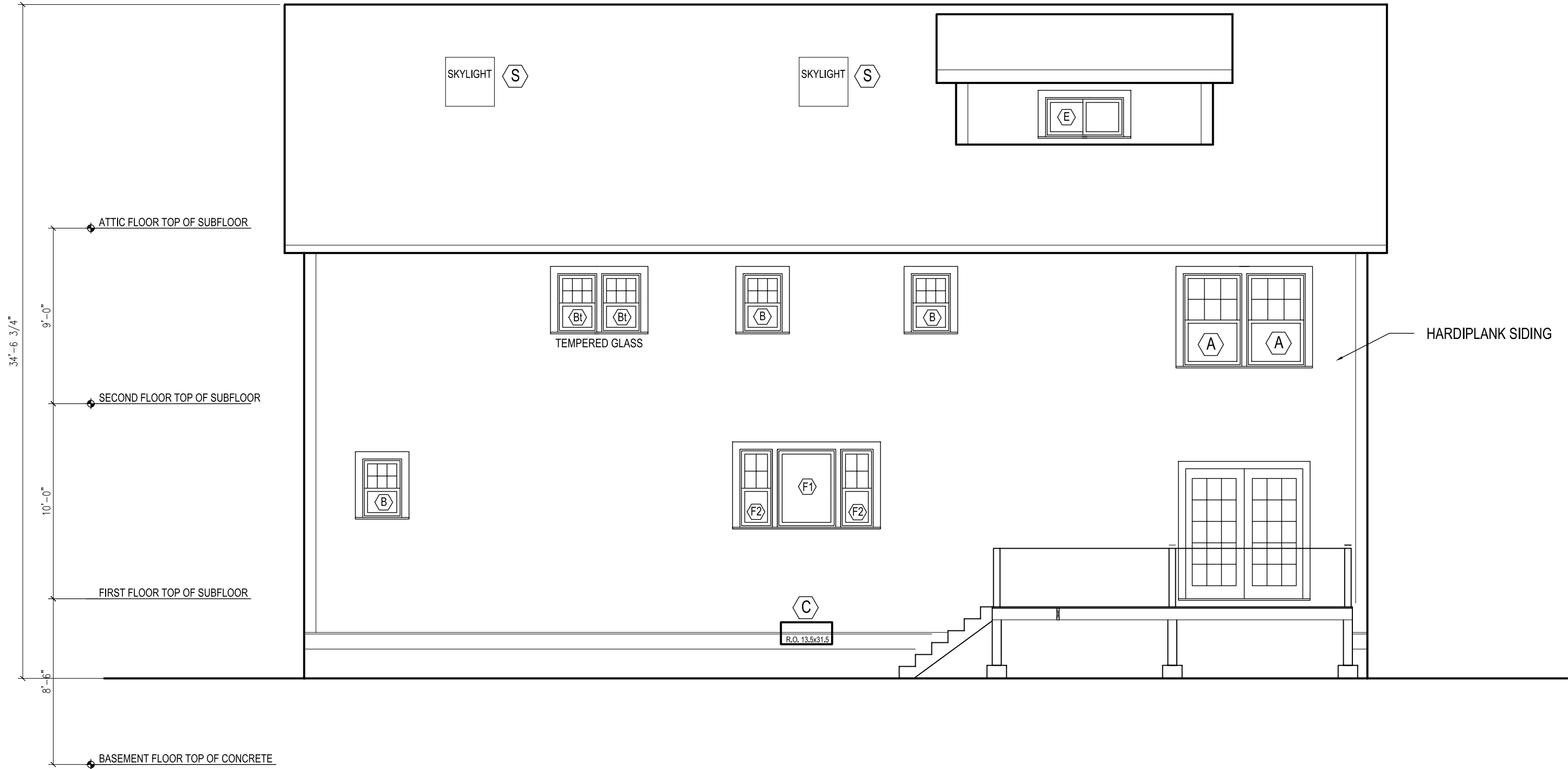
BASEMENT	652
1ST FLOOR	1061
2ND FLOOR	1499
ATTIC	565
TOTAL GROSS FLOOR AREA	3,777 SF

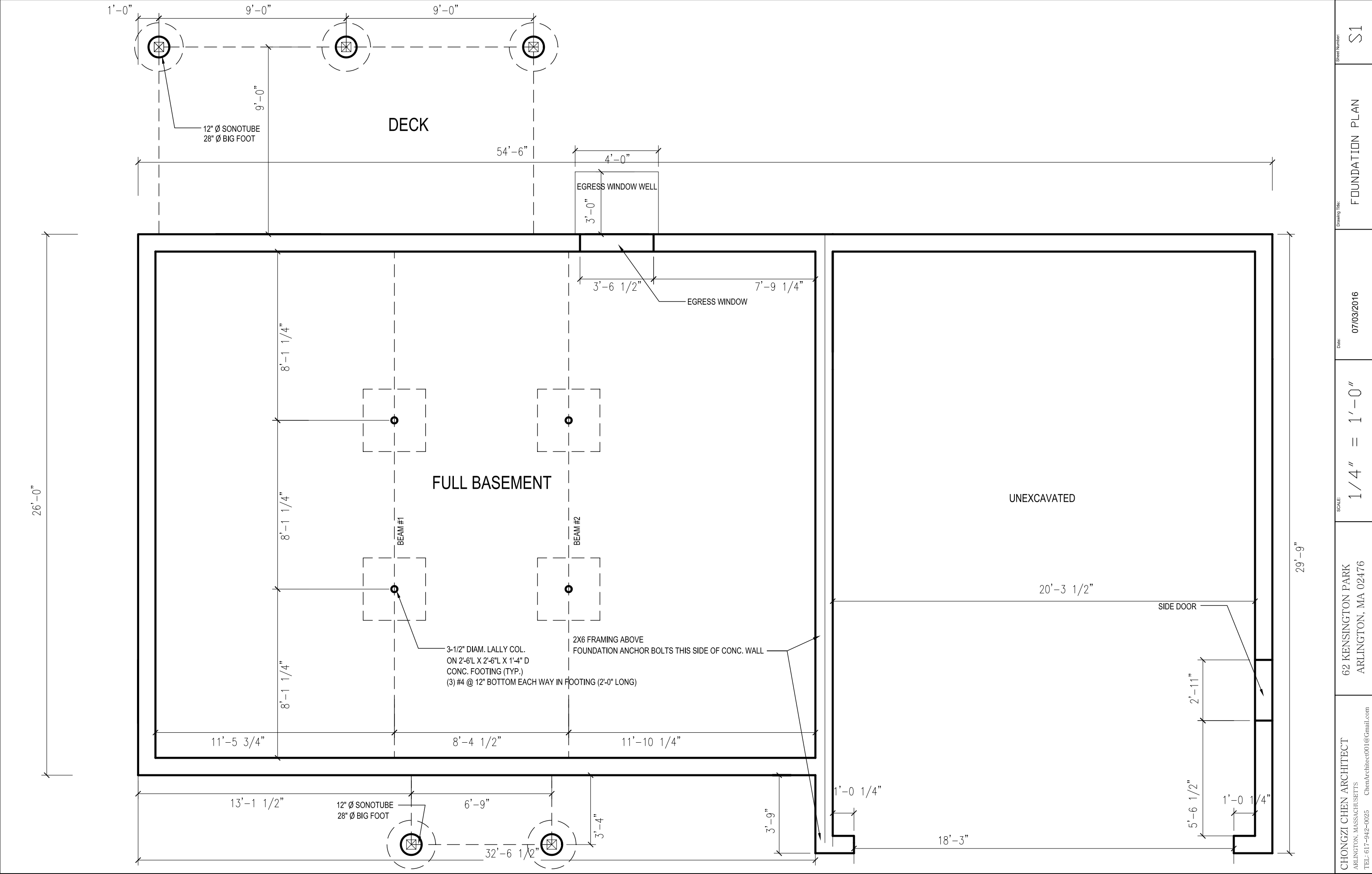


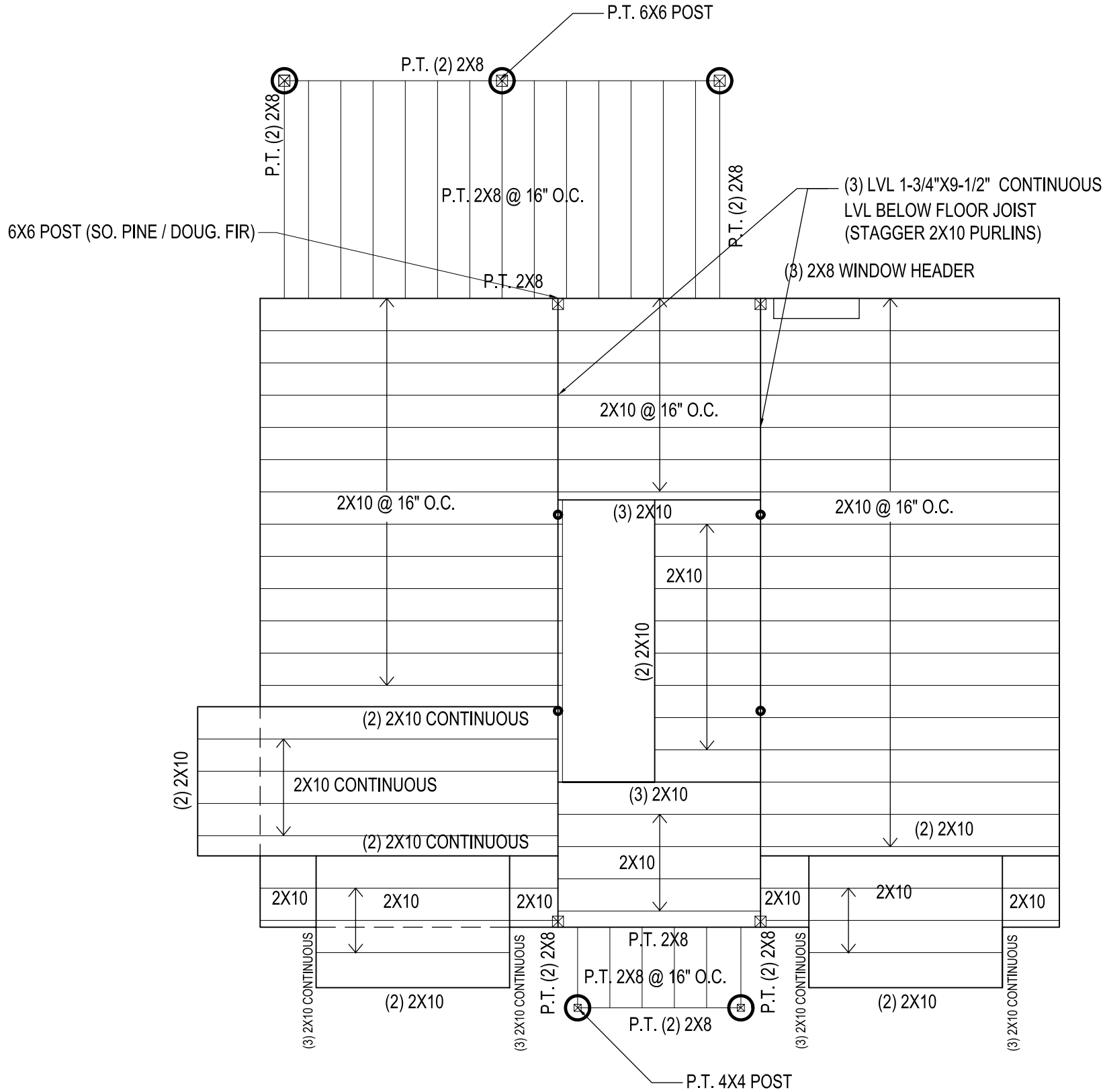


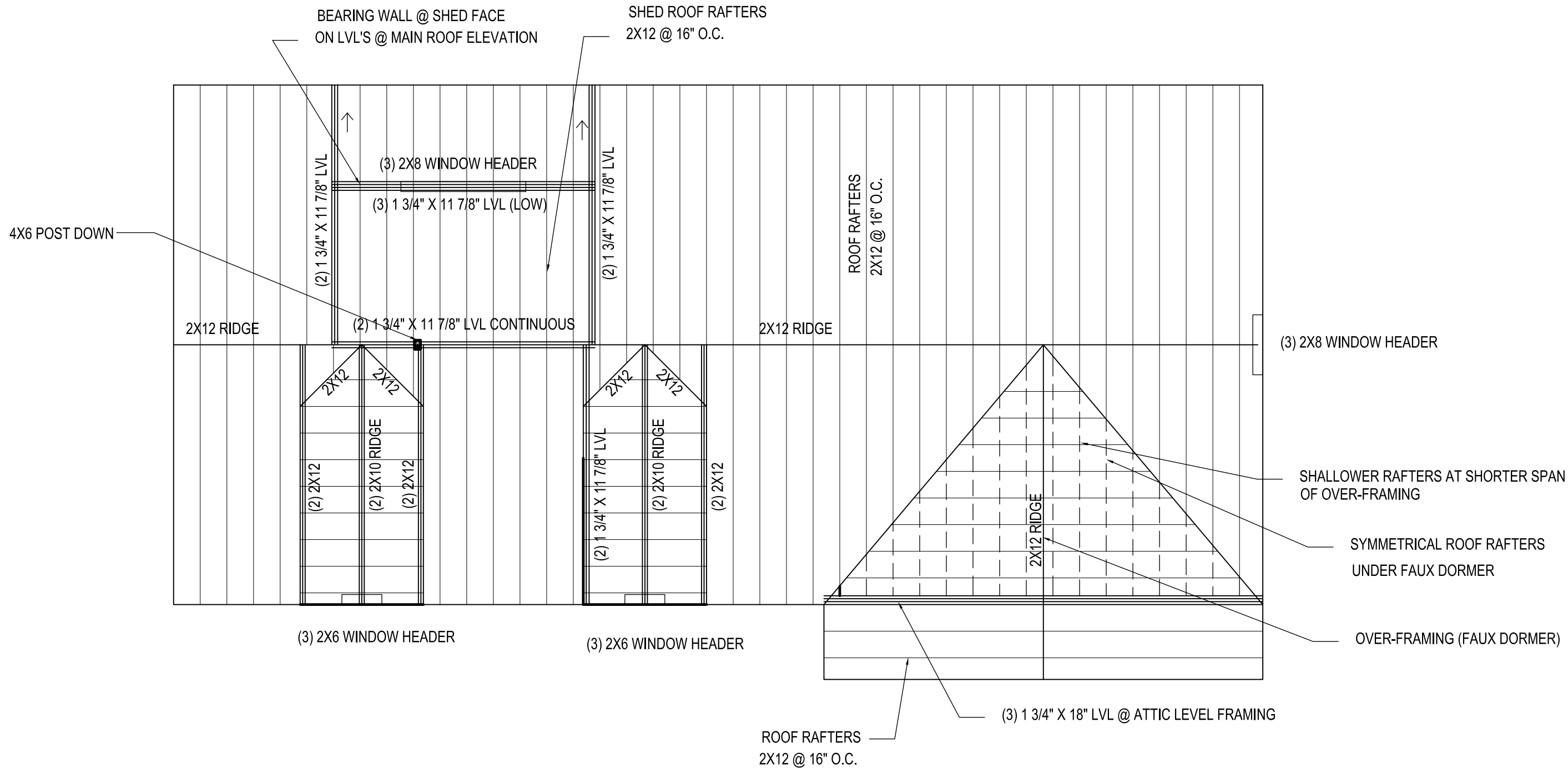


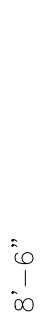




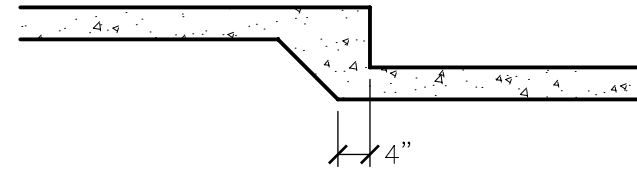




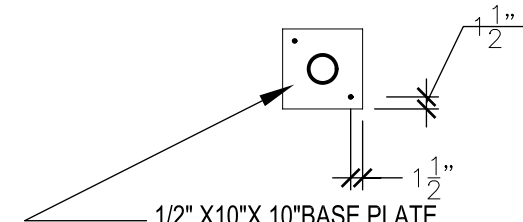




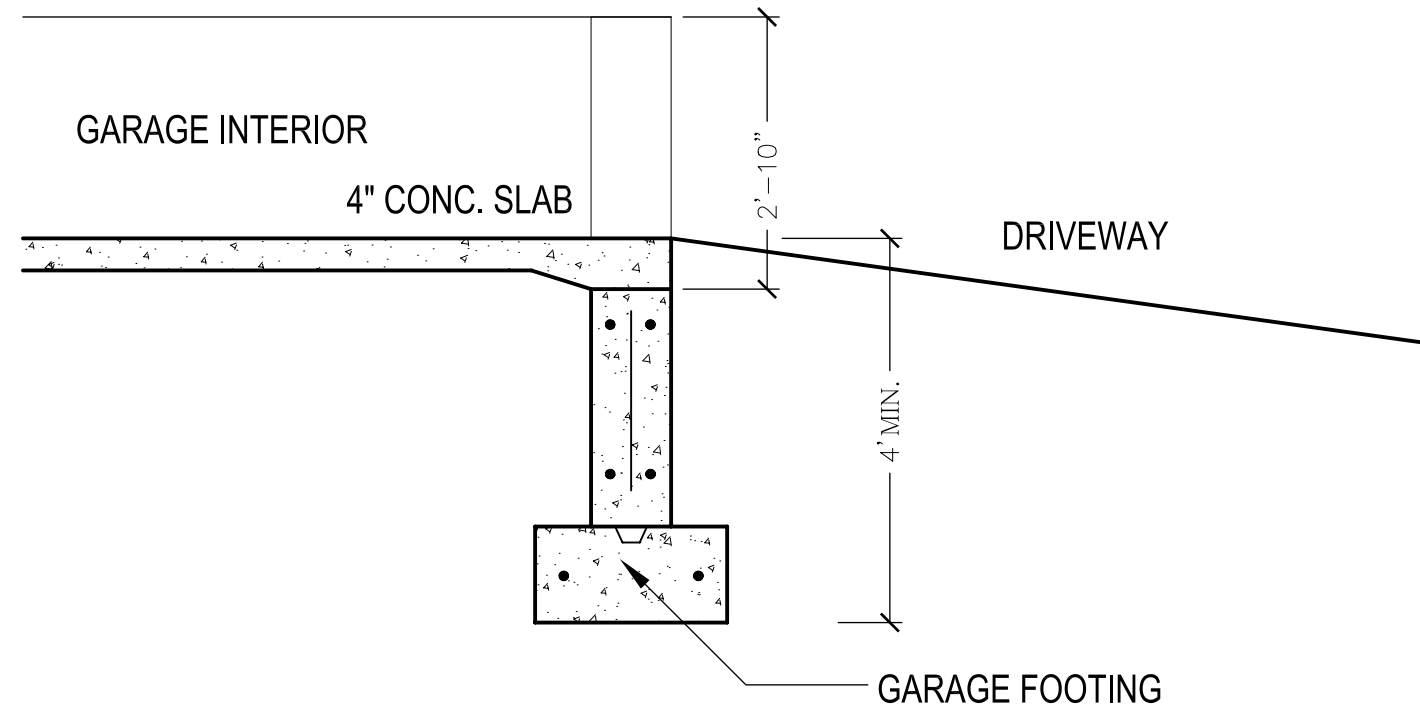
CONC. STEP TO MECH. ROOM



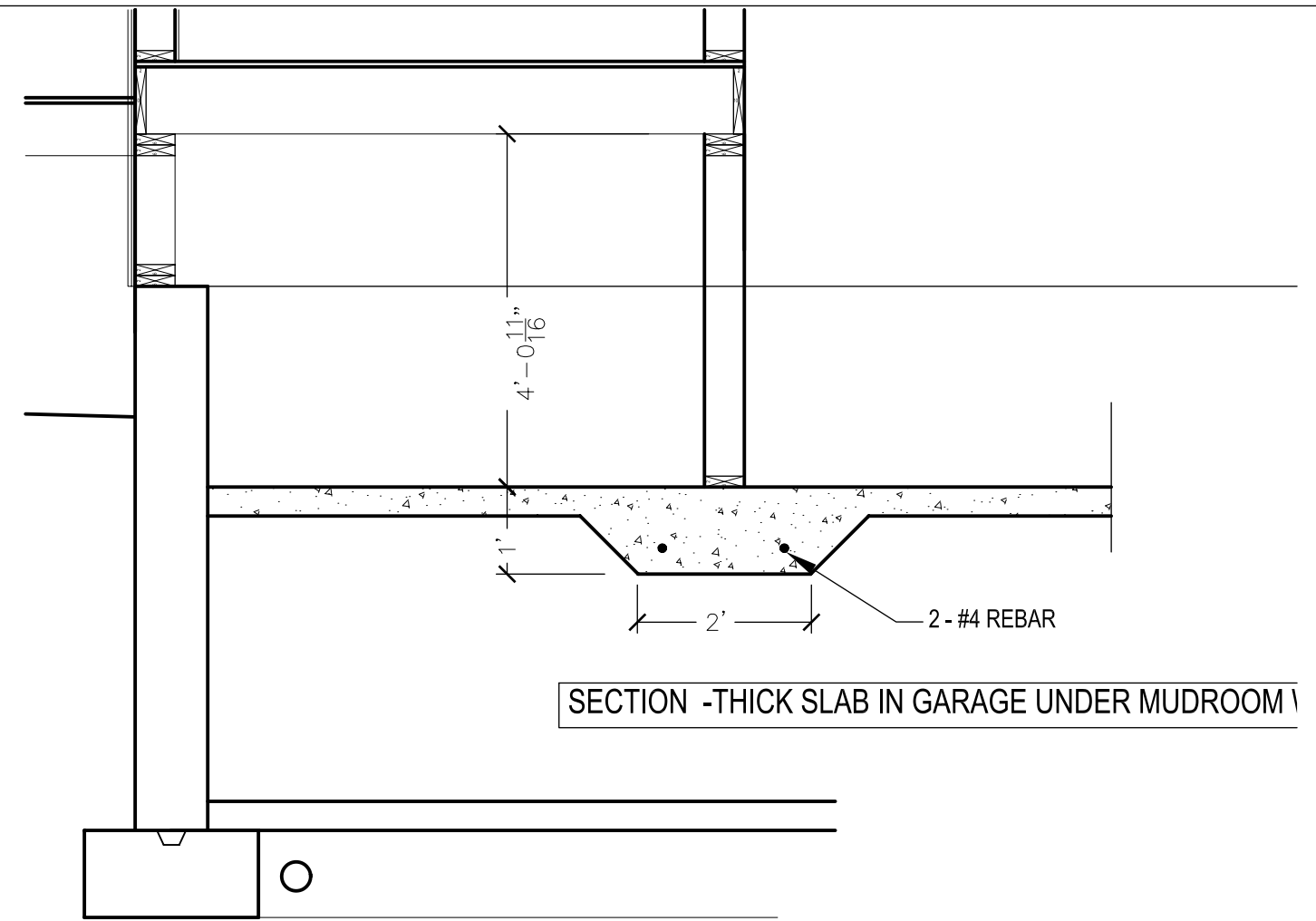
— 1/2" X10"X 10"BASE PLATE
W/(2) 1/2" Ø EXP. BOLTS



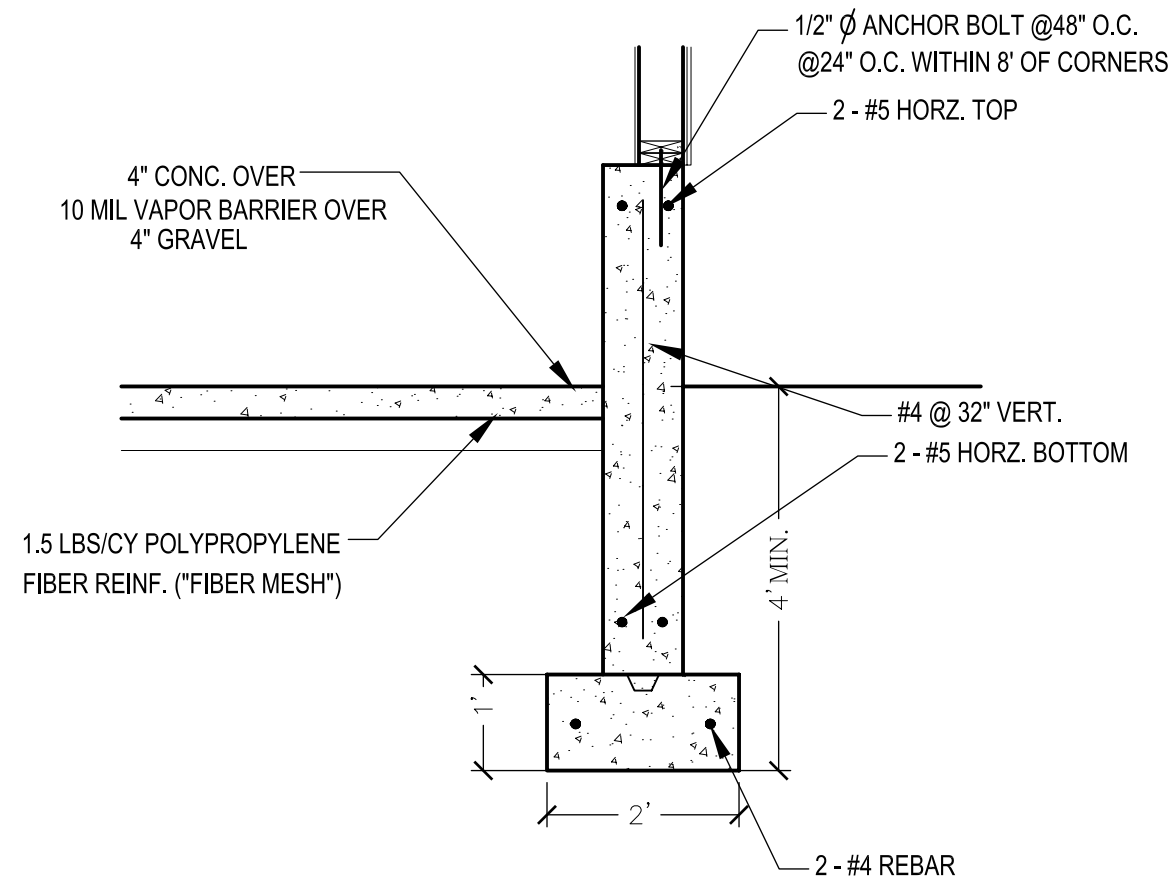
(3) #4 @ 12" BOTTOM EACH WAY
IN FOOTING (2'-0" LONG)



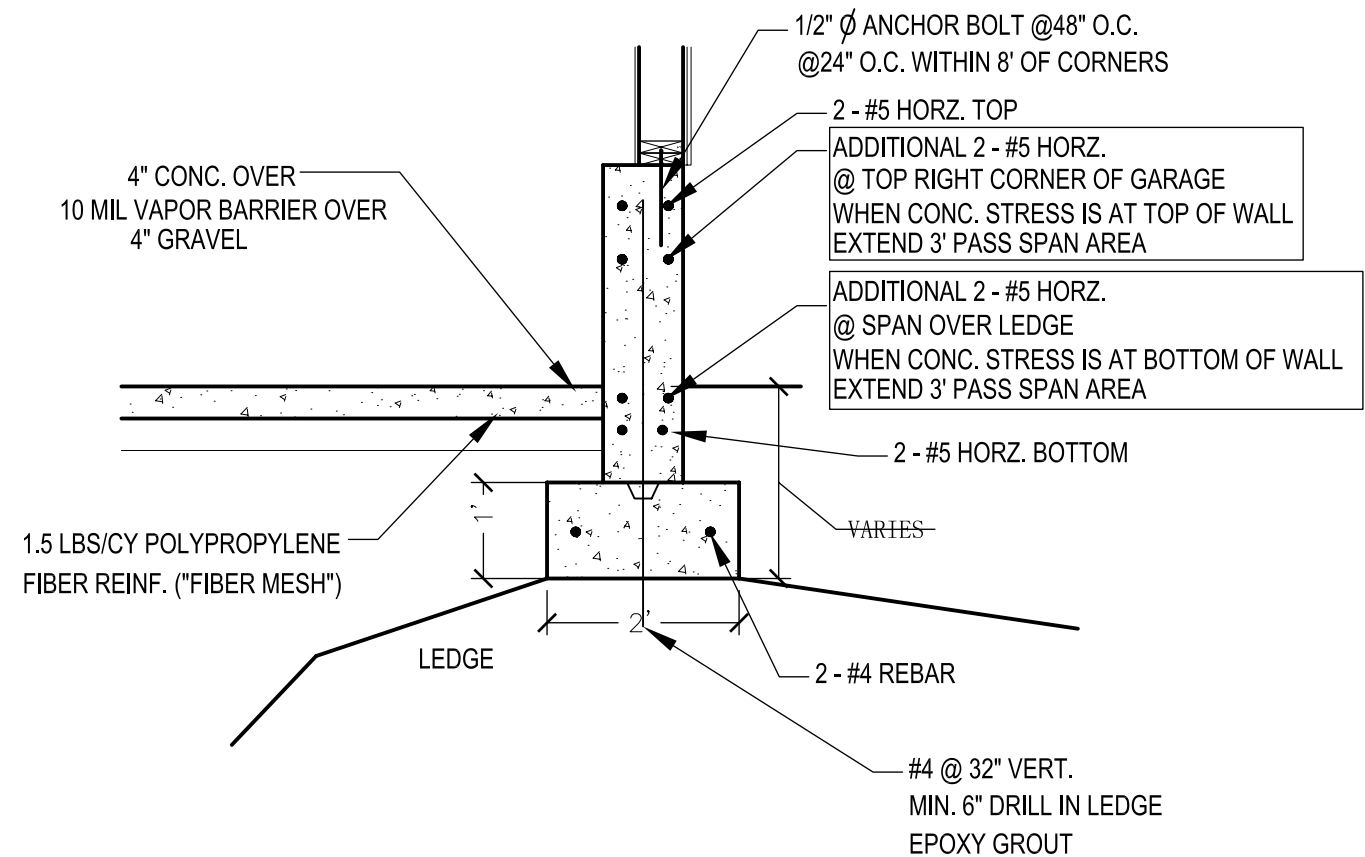
SECTION C - GARAGE DOOR OPENING FROST WALL SECTION



SECTION - THICK SLAB IN GARAGE UNDER MUDROOM



SECTION B - GARAGE FOUNDATION WALL SECTION - ON SOIL



SECTION B - GARAGE FOUNDATION WALL SECTION - ON LEDGE

9 - 11 PARK STREET

DEMOLITION OF SINGLE FAMILY DWELLING, CONSTRUCTION OF
NEW TWO FAMILY DWELLING.

LOT COVERAGE: -----	19.79%
TOTAL GROSS FLOOR AREA: -----	3413.5 SQ FT
OPEN SPACE REQUIRED: -----	1324 SQ FT
OPEN SPACE PROVIDE: -----	3377 SQ FT
OPEN SPACE PERCENTAGE: -----	76.52%
BUILDING HEIGHT (PROPOSED) -----	33' +/-
LOT SLOPE: (OVERALL) -----	1.67%
LOT SLOPE: (OPEN SPACE ONLY) -----	1.42% +/-
ATTIC GFA (680 SQ FT) -----	47.18 %
SLOPE OF DRIVEWAY PROPOSED -----	13 %

9-11 Pack Lunch

19.79 %	Lot Coverage	Distance	38.5 x 42	1617
		Lot		8169

44/3.5 th	Glass Floor Area	Buyspot	8X 26 =	208
			8X 26 =	208

First Floor 1617

Second Floor 1617

Attic (7'3" ceiling)

16×19 304

11 x 38.5 423.5

 $3 \times 12 = 36$

44/3.5

1324 ¹⁰ Open Space Required (44/13.5 x .30)

3377 ^A Open Space Provided (Area 56.25 X 60.04)

76.52% Open Source Percentage

33' +/- Building Height (As Built Required)

* Based on Lot Slope $< 5\%$

Lot Slope :

1.67% Overall 30.7 - 33.0 2'3" distance 137.25

1.42% Open Space: 32.2 - 33.0 08 DISTANCE 56.25

47.18% Attic GFA Percentage (763^{sq})



Town of Arlington
Inspectional Services Department
51 Grove Street
Arlington, Massachusetts 02476
781-316-3390
www.arlingtonma.gov

As built plot plan requirements prior to issuance of Certificate of Occupancy

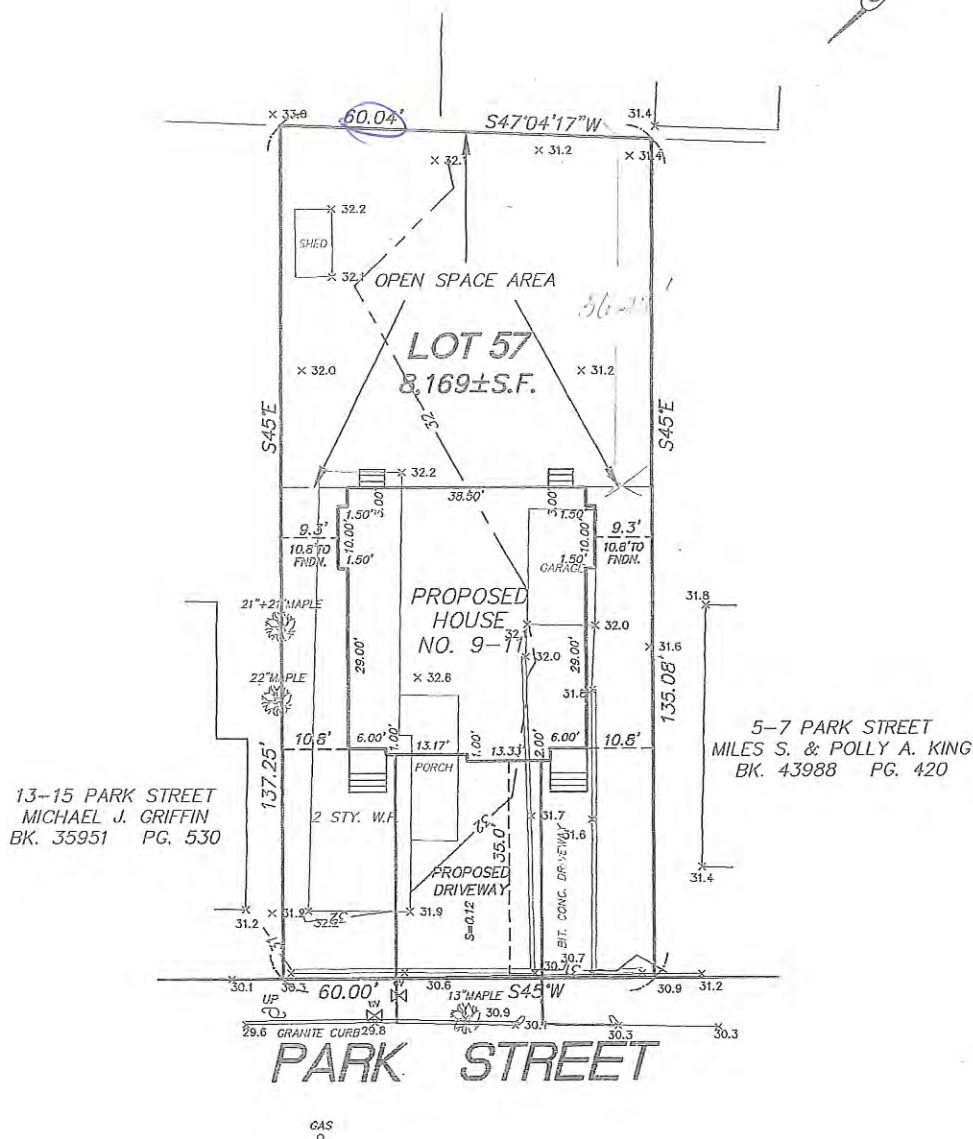
As deemed necessary by the Building Official, the following may be required for review as part of the certified plot plan prior to issuance:

- ✓ Building Height - (max 35' from average grade of structure in lots with slope of 5% grade or more.)
- ✓ Stories - calculations showing measurements for stories. (basement and attic)
- ✓ Gross Floor Area - calculations showing total GFA as defined in Zoning Bylaw.
- ✓ Open Space - calculations showing required usable and open space requirements based on total GFA.
- ✓ Parking spaces - show placement of required spaces.

9-11 Park Street

42 RAWSON STREET
JOHN VIENT & CATHERINE HAYES
BK. 23245 PG. 563

38 RAWSON STREET
RUSSELL W. & JOANNE T. CULLINANE
BK. 49472 PG. 588



NOTES:

- 1) WATER SERVICE TO BE 1" TYPE "K" COPPER.
- 2) SEWER SERVICE TO BE 6" PVC.
- 3) WATER AND SEWER LATERALS SHALL BE 10' APART (min).
- 4) PROPOSED WATER TO BE CONNECTED TO EXISTING SERVICE.
- 5) PROPOSED SEWER TO BE CONNECTED TO EXISTING SERVICE.
- 6) LOT LOCATED IN FLOOD ZONE C. MAP 25017C0417E.

PROPOSED BASEMENT FLOOR=26.2
PROPOSED FIRST FLOOR=35.0
EXISTING AVERAGE GRADE TOP CURB=30.5
PROPOSED PEAK = 62.1
MAX. PEAK = 65.5
PROPOSED GARAGE FLR.=26.2
EXISTING BUILDING COVER= 16.0%
PROPOSED BUILDING COVER= 20.5%

USABLE OPEN SPACE = 3430S.F.=42%

I CERTIFY THAT THE BUILDINGS ARE
LOCATED AS SHOWN AND THAT THIS
PLOT PLAN IS THE RESULT OF AN
INSTRUMENT SURVEY.



OWNER:
DOROTHY E. HENDER
BK. 36671 PG. 264

PROPOSED PLAN
IN
ARLINGTON, MASS.

SCALE: 1 IN. = 20 FT.

JUNE 16, 2016

KEENAN SURVEY
8 WINCHESTER PLACE, SUITE 208
WINCHESTER, MASS. 01890
781-729-4213

